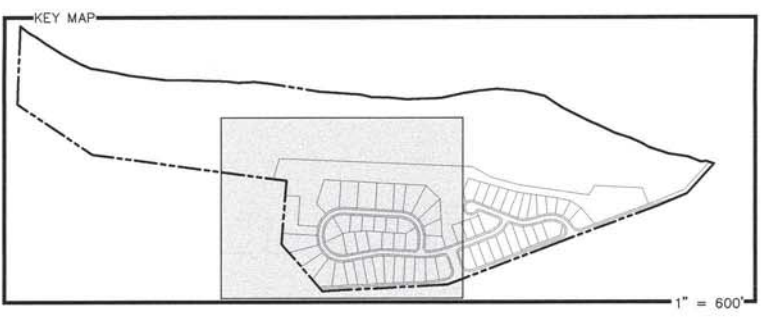


LEGEND

- Property Line
- Existing Curb
- Existing Edge Of Pavement
- Existing Gas Line/Valve
- Existing Water Line/Valve
- Existing Storm Sewer Inlet, Pipe Size And Manhole
- Existing Sanitary Sewer Line Cleanout And Manhole
- Existing Sanitary Sewer Force Main
- Existing Sign
- Existing Electric Line And Utility Pole/ED #
- Existing Spot Elevation
- 100 Year Floodplain Line
- PROPOSED STORM SEWER LINE AND INLET, ID #
- PROPOSED RIP RAP APRON
- PROPOSED SANITARY SEWER MAIN AND MANHOLE, ID #
- PROPOSED SANITARY SEWER LATERAL, CLEANOUT
- PROPOSED WATER LINE, HYDRANT
- PROPOSED PUBLIC WALK
- PROPOSED CONCRETE MONUMENT
- PHASE LINE



SIGN CHART

PLAN SYMBOL	PERMIDOT DESIGNATION	SIGN DESCRIPTION	SIZE
(A)	R1-1	STOP	24"x24"
(B)	---	STREET NAME SIGN	PER TWP REG.
(C)	R1-2	YIELD	30"x30"
(D)	R4-7B	NO PARKING SIGN	12"x12"

Following are steep slope lot calculations for lots that have significant areas of existing slope of 25+% grade (either natural or man-made). Note that a deed restriction will be placed on lots #27 to 29, 41 to 49, and 51 for the area within the slope easement shown, to ensure preservation of the natural wooded slope, stating that the contours cannot be changed in the easement area without permission by Silver Spring Township. Note that there is sufficient minimum lot area of 6,000 square feet outside of the slope easement. Grading shown in this plan set is permitted within the easement.

lot #	lot area outside of slope easement (sq. ft.)	average slope of lot outside of slope easement, in proposed conditions
25	23,390*	16.6%
26	34,699*	20.7%
27	17,839	23.9%
28	17,836	20.5%
29	18,544*	21.8%
30	21,600*	23.8%
35	10,609*	18.5%
36	11,754*	12.7%
41	6,797	24.6%
42	6,909	21.9%
43	7,269	11.3%
44	7,920	16.8%
45	7,736	16.3%
46	7,144	14.9%
47	7,035	21.5%
48	7,346	12.9%
49	7,453	24.6%
50	7,265*	14.6%
51	6,960	17.6%
52	8,079*	12.1%

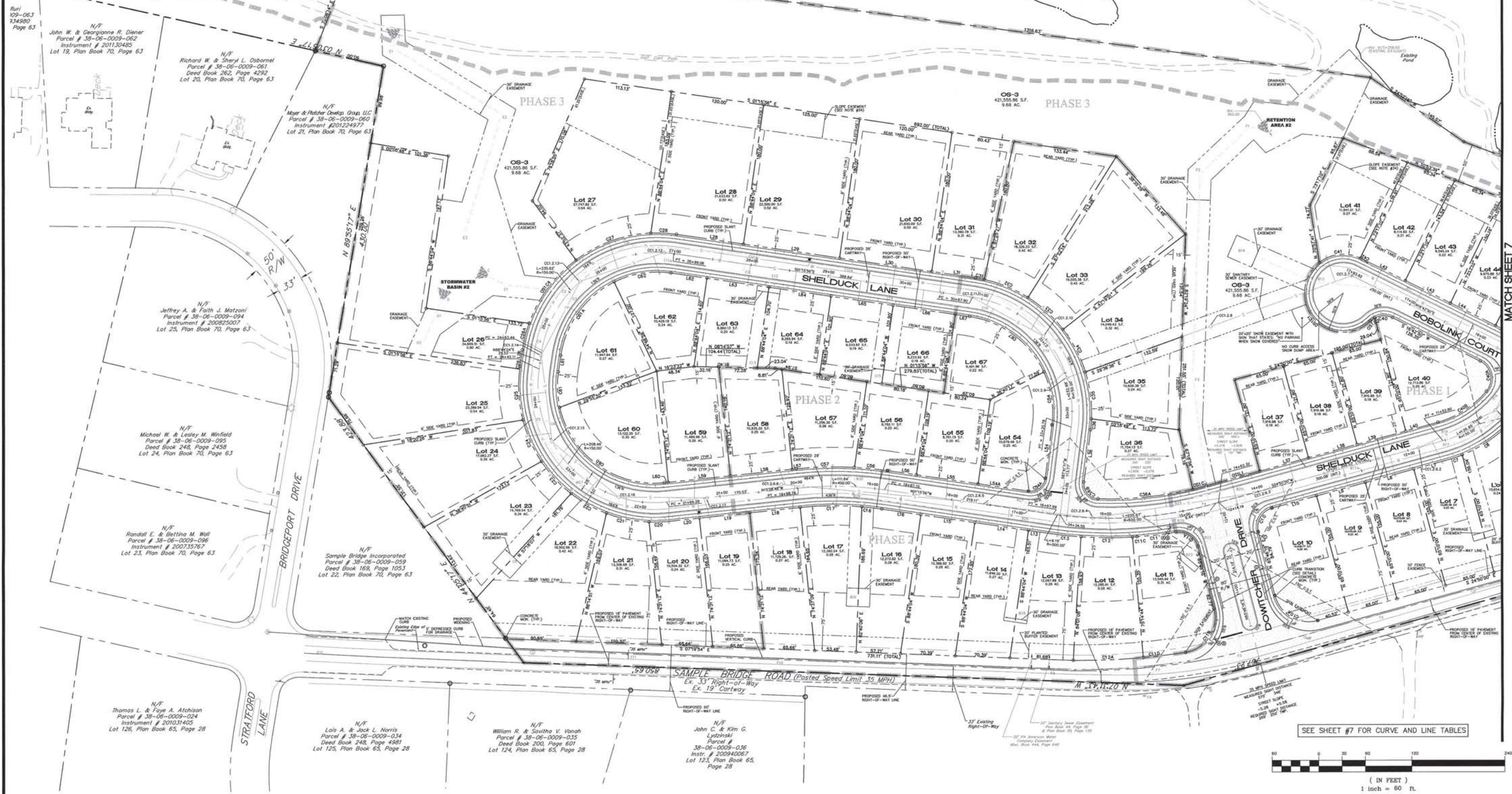
* entire lot area: no easement necessary / provided



NO.	DATE	DESCRIPTION	BY
5/9/13		PER REVIEW COMMENTS	GDG

DESIGN : T.C.S.
 DRAWN : G.D.G.
 CHECKED : T.C.S.
 DATE : 4-4-2013

PLANNING & ENGINEERING SURVEYING
 1100 N. BROAD ST.
 NEW CUMBERLAND, PA 17070
 PHONE: (717) 770-2500
 FAX: (717) 770-2400
 WWW.ALPHACON.COM

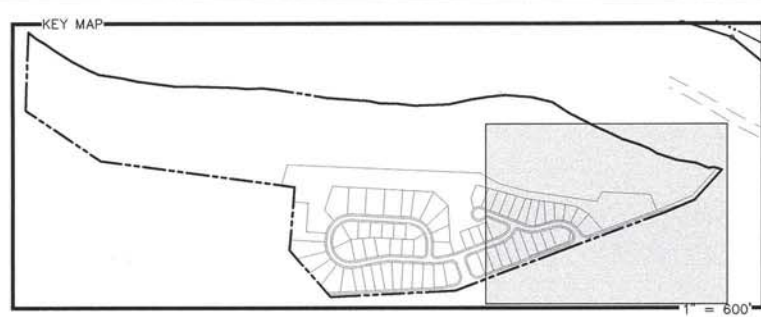


SUBDIVISION PLAN
 PRELIMINARY SUBDIVISION PLAN
 FOR
MILLFORDING PRESERVE
 SILVER SPRING TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO. 310087
 SURVEY BOOK :
 SCALE : 1" = 60'
 DWG: T:\10310087.dwg (310087)
 FILE: T:\10310087\10310087.dwg (310087)

LEGEND

- Property Line
- Existing Ditch
- Existing Edge Of Pave
- Existing Gas Line/Valve
- Existing Water Line/Valve
- Existing Storm Sewer
- Existing Sanitary Sewer
- Existing Sanitary Sewer Force Main
- Existing Sign
- Existing Electric Line And Utility Pole/ID
- Existing Spot Elevation
- 100 Year Floodplain Line
- PROPOSED STORM SEWER LINE AND INLET; ID #
- PROPOSED RIP RAP APRON
- PROPOSED SANITARY SEWER MAIN AND MANHOLE; ID #
- PROPOSED SANITARY SEWER LATERAL; CLEANOUT
- PROPOSED WATER LINE; HYDRANT
- PROPOSED PUBLIC WALK
- PROPOSED CONCRETE MONUMENT
- PHASE LINE



SIGN CHART

PLAN SYMBOL	PENDOT DESIGNATION	SIGN DESCRIPTION	SIZE
(A)	R1-1	STOP	24"x24"
(B)	---	STREET NAME SIGN	PER TWP REQ.
(C)	R1-2	YIELD	30"x30"
(D)	R4-7B	NO PARKING SIGN	12"x12"



NO.	DATE	DESCRIPTION	BY
5/9/13		PER REVIEW COMMENTS	GDC

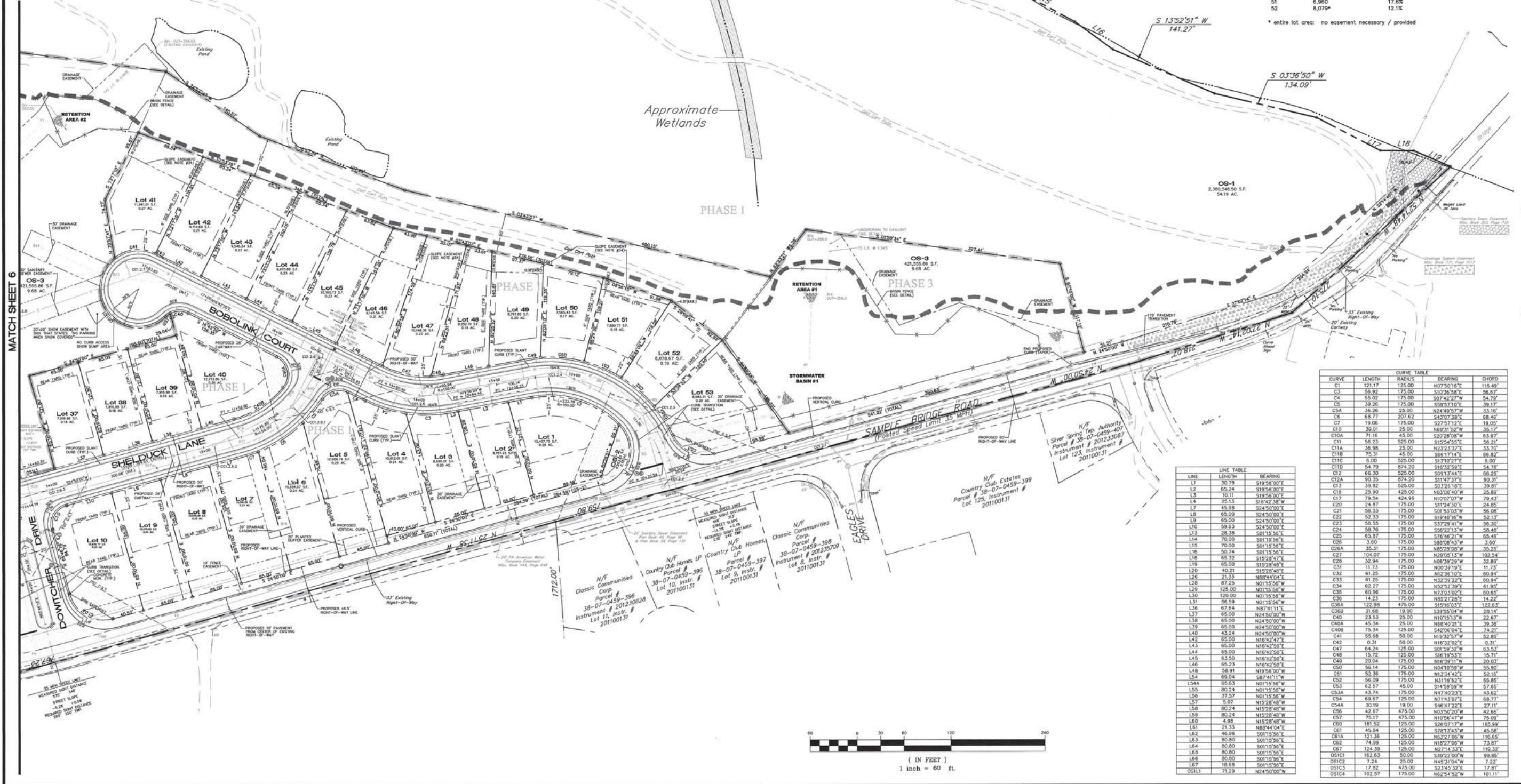
DESIGN : T.C.S.
 DRAWN : G.D.G.
 CHECKED : T.C.S.
 DATE : 4-4-2013

Following are steep slope lot calculations for lots that have significant areas of existing slope of 25% or greater (either natural or man-made). Note that a deed restriction will be placed on lots #27 to 29, 41 to 49, and 51 for the area within the slope easement shown, to ensure preservation of the natural wooded slope, stating that the contours cannot be changed in the easement area without permission by Silver Spring Township. Note that there is sufficient minimum lot area of 6,000 square feet outside of the slope easement. Grading shown in this plan set is permitted within the easement.

lot #	lot area outside of slope easement (sq. ft.)	average slope of lot outside of slope easement, in proposed conditions
25	23,390*	16.6%
26	20,775	20.7%
27	17,839	23.9%
28	17,836	20.5%
29	18,544	21.8%
30	21,600*	23.8%
35	10,609*	18.5%
36	11,754*	12.7%
41	6,797	24.6%
42	6,929	21.2%
43	7,144	14.9%
44	7,269	11.3%
45	7,920	16.8%
46	7,736	16.3%
47	7,444	14.9%
48	7,035	21.5%
49	7,346	12.9%
51	7,453	24.6%
52	7,564	14.6%
53	6,960	17.6%
54	8,079*	12.1%

* entire lot area: no easement necessary / provided

PLANNING, ENGINEERING & SURVEYING
 115 LIMEKILN RD. BOX 103
 NEW CUMBERLAND, PA 17070
 PHONE: (717) 770-2500
 FAX: (717) 770-2400
 WWW.ALPHA-ENGINEERS.COM



CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	121.17	125.00	N07°50'16"E	116.49
C2	56.92	175.00	S10°28'58"E	56.87
C3	53.02	175.00	S07°24'22"E	56.29
C4	39.26	175.00	S09°23'10"E	39.17
C5A	36.26	25.00	N24°49'57"W	33.16
C6	48.77	207.62	S43°37'38"E	48.46
C7	19.06	175.00	S27°25'12"E	19.02
C8	39.01	25.00	N69°31'52"W	35.17
C9A	71.16	45.00	S20°28'08"W	63.37
C10	6.00	325.00	S13°25'27"E	6.00
C11A	36.58	25.00	N23°21'33"E	33.70
C11B	75.31	45.00	S68°17'14"E	68.82
C12	14.87	175.00	S17°24'30"E	14.78
C13	66.30	525.00	S09°13'44"E	66.25
C13A	90.39	874.20	S11°47'37"E	90.31
C14	39.82	225.00	S03°28'18"E	39.81
C15	25.80	425.00	N03°09'40"W	25.89
C16	79.54	424.96	N10°07'02"W	79.43
C17	24.87	175.00	S17°24'30"E	24.85
C18	56.33	175.00	S01°53'03"W	56.08
C19	52.33	175.00	S19°40'18"W	52.13
C20	56.55	175.00	S37°29'41"W	56.20
C21	58.70	175.00	S26°21'13"W	58.48
C22	65.87	175.00	S78°46'21"W	65.49
C23	3.60	175.00	S84°38'43"W	3.60
C24	105.31	175.00	N82°22'08"W	105.21
C25	104.07	175.00	N29°00'33"E	102.54
C26	32.94	175.00	N06°38'29"W	32.89
C27	111.72	175.00	N02°21'18"E	111.27
C28	61.25	175.00	N32°48'10"E	60.94
C29	61.25	175.00	N32°48'22"E	60.94
C30	62.77	175.00	N54°25'39"E	61.25
C31	60.56	175.00	N73°03'02"E	60.02
C32	14.23	175.00	N82°21'28"E	14.22
C33A	122.98	475.00	S15°16'03"E	122.83
C34	11.68	175.00	S37°29'41"W	11.64
C35	23.53	25.00	N42°00'00"E	22.67
C36A	45.34	25.00	N68°40'21"E	39.38
C37	75.34	175.00	S42°00'00"E	74.81
C38	55.68	50.00	N15°33'27"W	52.80
C39	0.31	50.00	N18°32'02"E	0.31
C40	64.24	125.00	S01°39'30"W	63.53
C41	15.72	125.00	S01°39'30"W	15.71
C42	20.04	175.00	N16°38'11"W	20.03
C43	58.14	175.00	N04°19'59"W	55.80
C44	52.36	175.00	N33°14'52"E	52.18
C45	56.09	175.00	N31°18'52"E	55.85
C46	62.57	45.00	S14°59'59"W	57.65
C47	43.74	175.00	N47°42'23"E	43.62
C48	69.67	125.00	N71°43'07"E	68.77
C49A	30.19	19.00	S46°47'22"E	27.11
C50	42.87	475.00	N03°30'20"W	42.66
C51	75.17	475.00	N16°06'47"W	75.09
C52	181.52	125.00	S28°07'17"W	185.99
C53	45.84	125.00	S78°13'43"W	45.58
C54	121.56	125.00	N83°22'06"E	116.65
C55	74.99	125.00	N18°27'06"W	73.87
C56	124.39	125.00	N27°14'33"E	119.32
C57	162.53	50.00	S38°22'00"W	99.85
C58	7.24	25.00	N45°31'04"W	7.22
C59	17.82	475.00	S23°45'33"E	17.81
C60	102.57	175.00	N62°54'50"W	101.11

SEAL

SUBDIVISION PLAN
 PRELIMINARY SUBDIVISION PLAN
 FOR
MILLFORDING PRESERVE
 SILVER SPRING TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO. 310087
 SURVEY BOOK :
 SCALE : 1" = 60'
 DWG: T:\proj\310087\plan\310087.dwg
 FILE: T:\proj\310087\plan\310087.dwg
 SHEET 7 of 27

