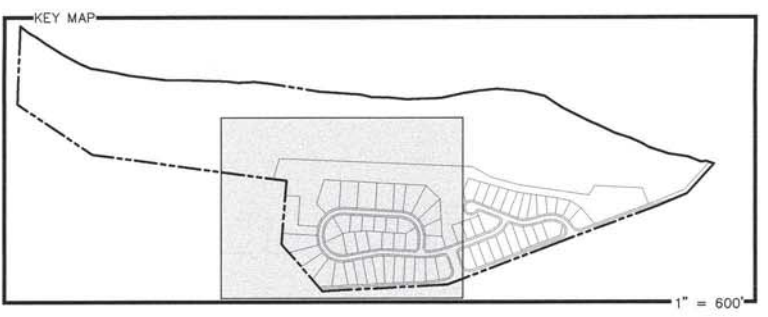


**LEGEND**

- Property Line
- Existing Curb
- Existing Edge Of Pavement
- Existing Gas Line/Valve
- Existing Water Line/Valve
- Existing Storm Sewer Inlet, Pipe Size And Manhole
- Existing Sanitary Sewer Line Cleanout And Manhole
- Existing Sanitary Sewer Force Main
- Existing Sign
- Existing Electric Line And Utility Pole/ED #
- Existing Spot Elevation
- 100 Year Floodplain Line
- PROPOSED STORM SEWER LINE AND INLET, ID #
- PROPOSED RIP RAP APRON
- PROPOSED SANITARY SEWER MAIN AND MANHOLE, ID #
- PROPOSED SANITARY SEWER LATERAL, CLEANOUT
- PROPOSED WATER LINE, HYDRANT
- PROPOSED PUBLIC WALK
- PROPOSED CONCRETE MONUMENT
- PHASE LINE



**SIGN CHART**

PLAN SYMBOL	PERMIDOT DESIGNATION	SIGN DESCRIPTION	SIZE
(A)	R1-1	STOP	24"x24"
(B)	---	STREET NAME SIGN	PER TWP REG.
(C)	R1-2	YIELD	30"x30"
(D)	R4-7B	NO PARKING SIGN	12"x12"

Following are steep slope lot calculations for lots that have significant areas of existing slope of 25+% grade (either natural or man-made). Note that a deed restriction will be placed on lots #27 to 29, 41 to 49, and 51 for the area within the slope easement shown, to ensure preservation of the natural wooded slope, stating that the contours cannot be changed in the easement area without permission by Silver Spring Township. Note that there is sufficient minimum lot area of 6,000 square feet outside of the slope easement. Grading shown in this plan set is permitted within the easement.

lot #	lot area outside of slope easement (sq. ft.)	average slope of lot outside of slope easement, in proposed conditions
25	23,390*	16.6%
26	34,699*	20.7%
27	17,839	23.9%
28	17,836	20.5%
29	18,544*	21.8%
30	21,600*	23.8%
35	10,609*	18.5%
36	11,754*	12.7%
41	6,797	24.6%
42	6,909	21.9%
43	7,269	11.3%
44	7,920	16.8%
45	7,736	16.3%
46	7,144	14.9%
47	7,035	21.5%
48	7,346	12.9%
49	7,453	24.6%
50	7,265*	14.6%
51	6,960	17.6%
52	8,079*	12.1%

\* entire lot area: no easement necessary / provided

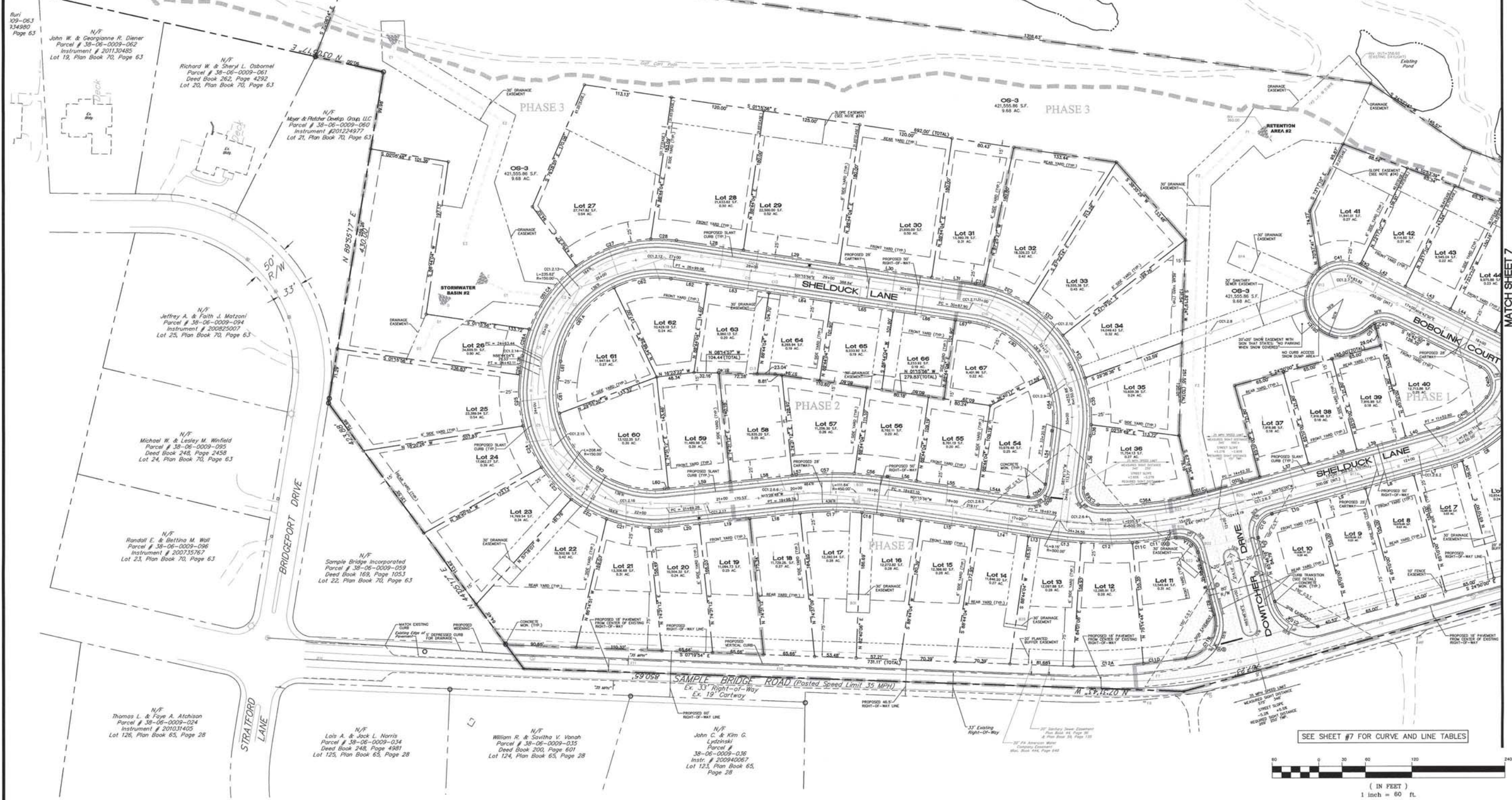


NO.	DATE	DESCRIPTION	BY
5/9/13		PER REVIEW COMMENTS	GDG

DESIGN : T.C.S.  
 DRAWN : G.D.G.  
 CHECKED : T.C.S.  
 DATE : 4-4-2013

PLANNING & ENGINEERING SURVEYING  
 1100 N. BROAD ST.  
 NEW CUMBERLAND, PA 17070  
 PHONE: (717) 770-2500  
 FAX: (717) 770-2400  
 WWW.ALPHACON.COM

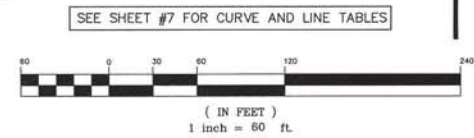
**ALPHA**  
 ALPHA CONSULTING ENGINEERS, INC.



MATCH SHEET 7

SUBDIVISION PLAN  
 PRELIMINARY SUBDIVISION PLAN  
 FOR  
**MILLFORDING PRESERVE**  
 SILVER SPRING TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

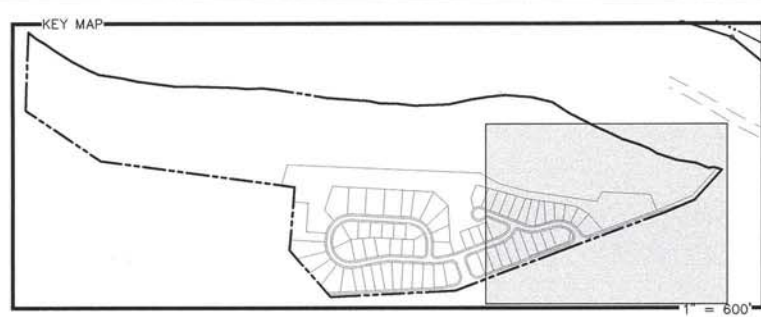
PROJECT NO. 310087  
 SURVEY BOOK :  
 SCALE : 1" = 60'  
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 FILE: T:\10\310087\10\310087.dwg





**LEGEND**

- Property Line
- Existing Curb
- Existing Edge Of Pavement
- Existing Gas Line/Valve
- Existing Water Line/Valve
- Existing Storm Sewer
- Existing Sanitary Sewer
- Existing Sanitary Sewer Force Main
- Existing Sign
- Existing Electric Line And Utility Pole/ID #
- Existing Spot Elevation
- 100 Year Floodplain Line
- PROPOSED STORM SEWER LINE AND INLET; ID #
- PROPOSED RIP RAP APRON
- PROPOSED SANITARY SEWER MAIN AND MANHOLE; ID #
- PROPOSED SANITARY SEWER LATERAL; CLEANOUT
- PROPOSED WATER LINE; HYDRANT
- PROPOSED PUBLIC WALK
- PROPOSED CONCRETE MONUMENT
- PHASE LINE



**SIGN CHART**

PLAN SYMBOL	PENDOT DESIGNATION	SIGN DESCRIPTION	SIZE
(A)	R1-1	STOP	24"x24"
(B)	---	STREET NAME SIGN	PER TWP REQ.
(C)	R1-2	YIELD	30"x30"
(D)	R4-7B	NO PARKING SIGN	12"x12"



NO.	DATE	DESCRIPTION	BY
5/9/13		PER REVIEW COMMENTS	GDC

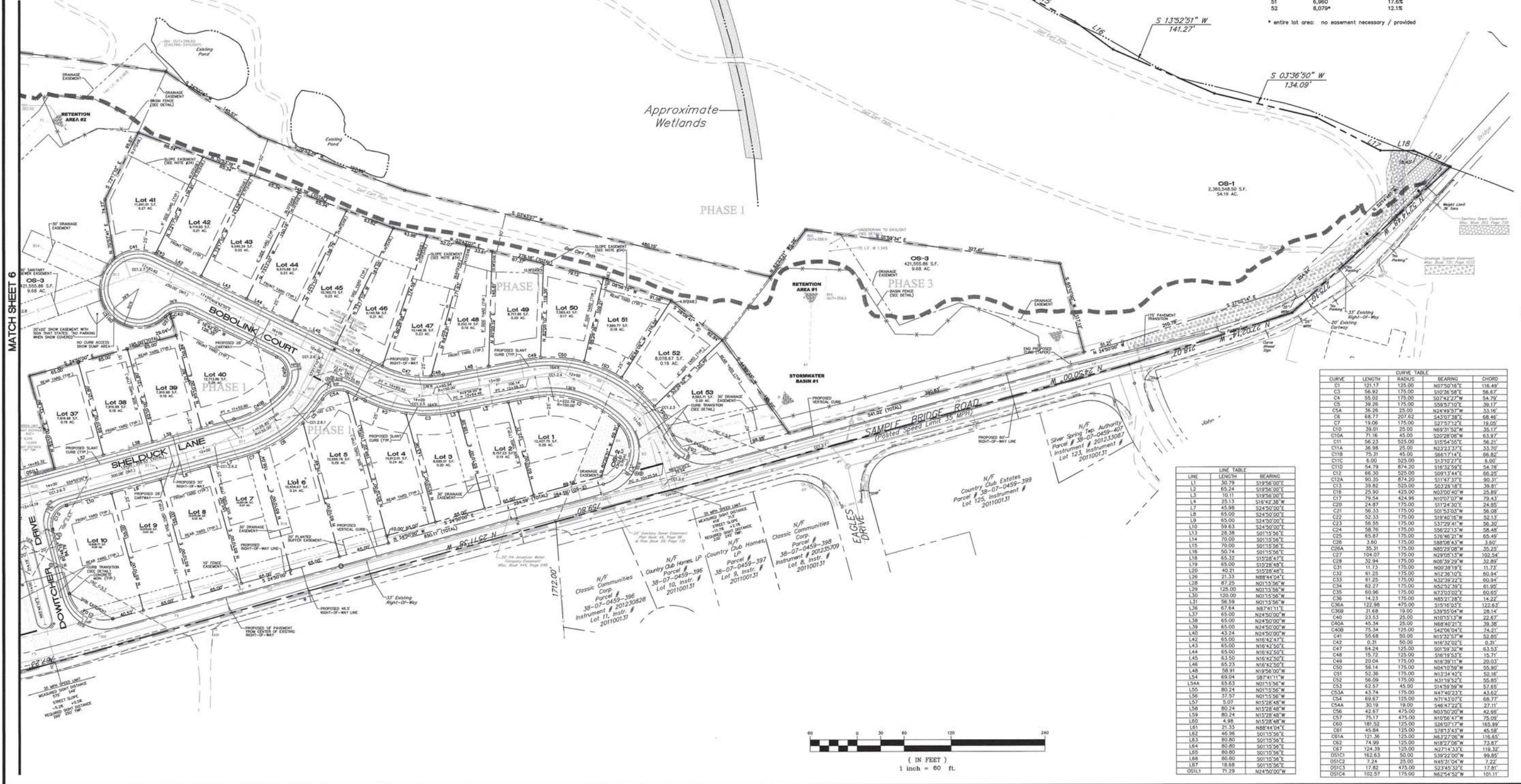
DESIGN : T.C.S.  
 DRAWN : G.D.G.  
 CHECKED : T.C.S.  
 DATE : 4-4-2013

Following are steep slope lot calculations for lots that have significant areas of existing slope of 25% or greater (either natural or man-made). Note that a deed restriction will be placed on lots #27 to 29, 41 to 49, and 51 for the area within the slope easement shown, to ensure preservation of the natural wooded slope, stating that the contours cannot be changed in the easement area without permission by Silver Spring Township. Note that there is sufficient minimum lot area of 6,000 square feet outside of the slope easement. Grading shown in this plan set is permitted within the easement.

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41	6,797	24.6%
42	6,929	21.2%
43	7,144	14.9%
44	7,269	11.3%
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47	7,144	14.9%
48	7,035	21.5%
49	7,346	12.9%
51	7,453	24.6%
52	7,564	14.6%
53	6,960	17.6%
54	8,079*	12.1%

\* entire lot area: no easement necessary / provided

PLANNING, ENGINEERING & SURVEYING  
 115 LIMEKILN RD., P.O. BOX 103  
 NEW CUMBERLAND, PA 17070  
 PHONE: (717) 770-2500  
 FAX: (717) 770-2400  
 WWW.ALPHA-ENGINEERS.COM

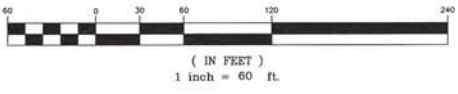


**CURVE TABLE**

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	121.17	125.00	N07°50'16"E	116.49
C3	56.92	175.00	S10°28'58"E	56.87
C4	53.02	175.00	S07°24'22"E	52.79
C5	39.26	175.00	S09°23'10"E	39.17
C5A	36.26	25.00	N24°49'57"W	33.16
C6	48.77	207.63	S43°37'38"E	48.46
C7	19.06	175.00	S27°25'12"E	19.02
C10	39.01	25.00	N69°31'52"W	35.17
C10A	71.16	45.00	S20°28'08"W	63.37
C11	6.05	325.00	S13°25'27"E	6.00
C11A	36.58	25.00	N23°21'33"E	33.70
C11B	75.31	45.00	S68°17'14"E	68.82
C12	6.00	325.00	S13°25'27"E	6.00
C12A	90.39	874.20	S11°47'37"E	90.31
C13	39.82	225.00	S03°28'18"E	39.81
C16	25.80	425.00	N03°09'40"W	25.89
C17	79.54	424.96	N10°07'02"W	79.43
C19	24.87	175.00	S17°24'30"E	24.85
C21	50.33	175.00	S01°53'03"W	50.08
C22	52.33	175.00	S19°40'18"W	52.13
C23	56.55	175.00	S37°29'41"W	56.20
C24	58.70	175.00	S26°22'13"W	58.48
C25	65.87	175.00	S78°46'21"W	65.49
C26	3.60	175.00	S84°38'43"W	3.60
C26A	25.31	175.00	N82°22'08"W	25.21
C27	104.07	175.00	N23°21'33"E	102.54
C28	32.94	175.00	N06°39'29"W	32.89
C31	11.72	175.00	N02°22'08"W	11.72
C32	61.25	175.00	N32°48'10"E	60.94
C33	61.25	175.00	N32°48'10"E	60.94
C34	62.77	175.00	N54°25'39"E	61.95
C35	60.56	175.00	N73°03'02"E	60.02
C36	14.23	175.00	N82°21'28"E	14.22
C36A	122.98	475.00	S15°16'03"E	122.83
C36B	11.68	175.00	S42°06'04"E	11.64
C40	23.53	25.00	N10°13'13"W	22.67
C40A	45.34	25.00	N68°40'21"E	39.38
C40B	75.34	125.00	S42°06'04"E	74.81
C41	55.68	50.00	N15°33'27"W	52.80
C42	0.31	50.00	N18°32'02"E	0.31
C47	64.24	125.00	S01°39'30"W	63.53
C48	15.72	125.00	S10°15'33"E	15.71
C49	20.04	175.00	N16°39'11"W	20.03
C50	58.14	175.00	N04°19'59"W	55.80
C51	52.86	175.00	N33°14'52"E	52.86
C52	56.09	175.00	N31°18'52"E	55.85
C53	62.57	45.00	S14°59'59"W	57.65
C53A	43.74	175.00	N47°42'23"E	43.62
C54	69.67	125.00	N71°43'07"E	68.77
C54A	30.19	19.00	S46°47'22"E	27.11
C56	42.87	475.00	N03°30'20"W	42.66
C57	75.17	475.00	N10°06'47"W	75.09
C59	181.52	125.00	S28°07'17"W	185.99
C61	45.84	125.00	S78°13'43"W	45.58
C61A	121.56	125.00	N83°22'06"W	116.65
C62	74.99	125.00	N18°27'06"W	73.87
C67	124.39	125.00	N27°14'33"E	119.32
OS1C1	162.53	60.00	S38°22'00"W	99.85
OS1C2	7.24	25.00	N45°31'04"W	7.22
OS1C3	17.82	475.00	S23°45'33"E	17.81
OS1C4	102.97	175.00	N82°54'50"W	101.11

**LINE TABLE**

LINE	LENGTH	BEARING
L1	30.79	S19°56'00"E
L2	65.24	S19°56'00"E
L3	10.11	S19°56'00"E
L4	25.13	N16°42'38"W
L7	45.98	S24°30'00"E
L8	65.00	S24°30'00"E
L9	65.00	S24°30'00"E
L10	59.63	S24°30'00"E
L13	28.38	S01°12'56"E
L14	70.00	S01°12'56"E
L15	70.00	S01°12'56"E
L18	50.74	S01°12'56"E
L19	65.00	S12°28'48"E
L20	40.21	S12°28'48"E
L28	21.33	N08°44'04"E
L29	125.00	N01°12'56"W
L30	120.00	N01°12'56"W
L31	56.59	N01°12'56"W
L36	67.64	N87°41'11"W
L37	65.00	N24°30'00"W
L38	65.00	N24°30'00"W
L39	65.00	N24°30'00"W
L40	43.24	N24°30'00"W
L42	65.00	N18°42'42"E
L43	65.00	N18°42'42"E
L44	65.00	N18°42'42"E
L45	63.50	N18°42'42"E
L46	65.23	N18°42'42"E
L48	58.91	N19°58'00"W
L54	69.04	S87°41'11"W
L54A	63.63	N01°12'56"W
L55	80.24	N01°12'56"W
L56	37.57	N01°12'56"W
L57	67.07	N15°28'48"W
L58	80.24	N15°28'48"W
L59	80.24	N15°28'48"W
L60	4.98	N15°28'48"W
L61	21.33	N08°44'04"E
L62	46.98	S01°12'56"E
L63	80.80	S01°12'56"E
L64	80.80	S01°12'56"E
L65	80.80	S01°12'56"E
L66	80.80	S01°12'56"E
L67	18.89	S01°12'56"E
OS1L1	71.29	N24°30'00"W



SEAL

**SUBDIVISION PLAN**  
 PRELIMINARY SUBDIVISION PLAN  
 FOR  
**MILLFORDING PRESERVE**  
 SILVER SPRING TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO. 310087  
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 SHEET 7 of 27